

DEVELOPMENT APPLICATION

PALMTOPS HOUSE

61 HILLSIDE PDE, ELIZABETH BEACH WORIMI COUNTRY, NSW 2428
LOT 252 DP 22434

I.D	DRAWING	SCALE	PROJECT AREAS	
DA01.1	COVER SHEET		AREA	SQM
DA01.2	SITE PLAN		SITE	975m2
DA01.3	BASIX CERTIFICATE		LANDSCAPE OPEN SPACE	
DA02.1	FIRST FLOOR PLAN		FLOOR AREA	
DA02.2	SUBFLOOR PLAN		GROUND FLOOR	52.75m2
DA03.1	NORTH ELEVATION		DECK	33.15m2
DA03.2	EAST ELEVATION		POOL AREA	81m2
DA03.3	SOUTH ELEVATION		CARPORT	31m2
DA03.4	WEST ELEVATION		TOTALS	197.9m2
DA04.1	SECTIONS		EXISTING	180m2
DA05.1	PERSPECTIVES			



MIDCOAST COUNCIL DCP 2014 REQUIREMENTS ELIZABETH BEACH, NSW

ZONE: R2 LOW DENSITY RESIDENTIAL

CONTROL	REQUIREMENT	PROPOSED	COMPLY
SITE AREA	975 m2		
SITE DENSITY	1 building / 1000m2	1	Y
FLOOR SPACE RATIO	0.5	0.278	Y
BUILDING HEIGHT	8500mm	3615mm	Y
FRONT SETBACK	6000mm	Existing house - 6000mm	Y
SIDE SETBACK	A minimum of 900mm for a building with a maximum wall height of 3.8m If building height is greater than 3.8m: 900mm + (building height over 3.8m/4)	Carport Side setback 450mm Studio side setback 1985mm	N Y
REAR SETBACK	A minimum of 3m for a building with a maximum wall height of 3.8m. If building height is greater than 3.8m: 3000mm + (building height over 3.8m/4)	Rear setback - 9440mm	Y
CAR PARKING	2 car spaces / dwelling GFA > 125m2 Garage setback 500mm from front building line Garage door <50% of overall building width	2	Y



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project:

E&D Luck

61 Hillside Pde Elizabeth Beach NSW 2428

Lot 252 DP 22434

drawing title:

Cover Sheet

issue date: 19/12/2024

dwg.no: DA.01.1

project no:

rev.no: **F**

drawn by: GS

revision history

ID	Drawn	Date	Title
DA	GS	16.11.24	DA Set
DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update

scale: 1:1.46, 1:248.37 @ A3



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project:
E&D Luck
61 Hillside Pde Elizabeth Beach NSW 2428
Lot 252 DP 22434

drawing title:
Site Plan
issue date: 19/12/2024
dwg.no: DA.01.2 rev.no: **F**
project no: drawn by: GS

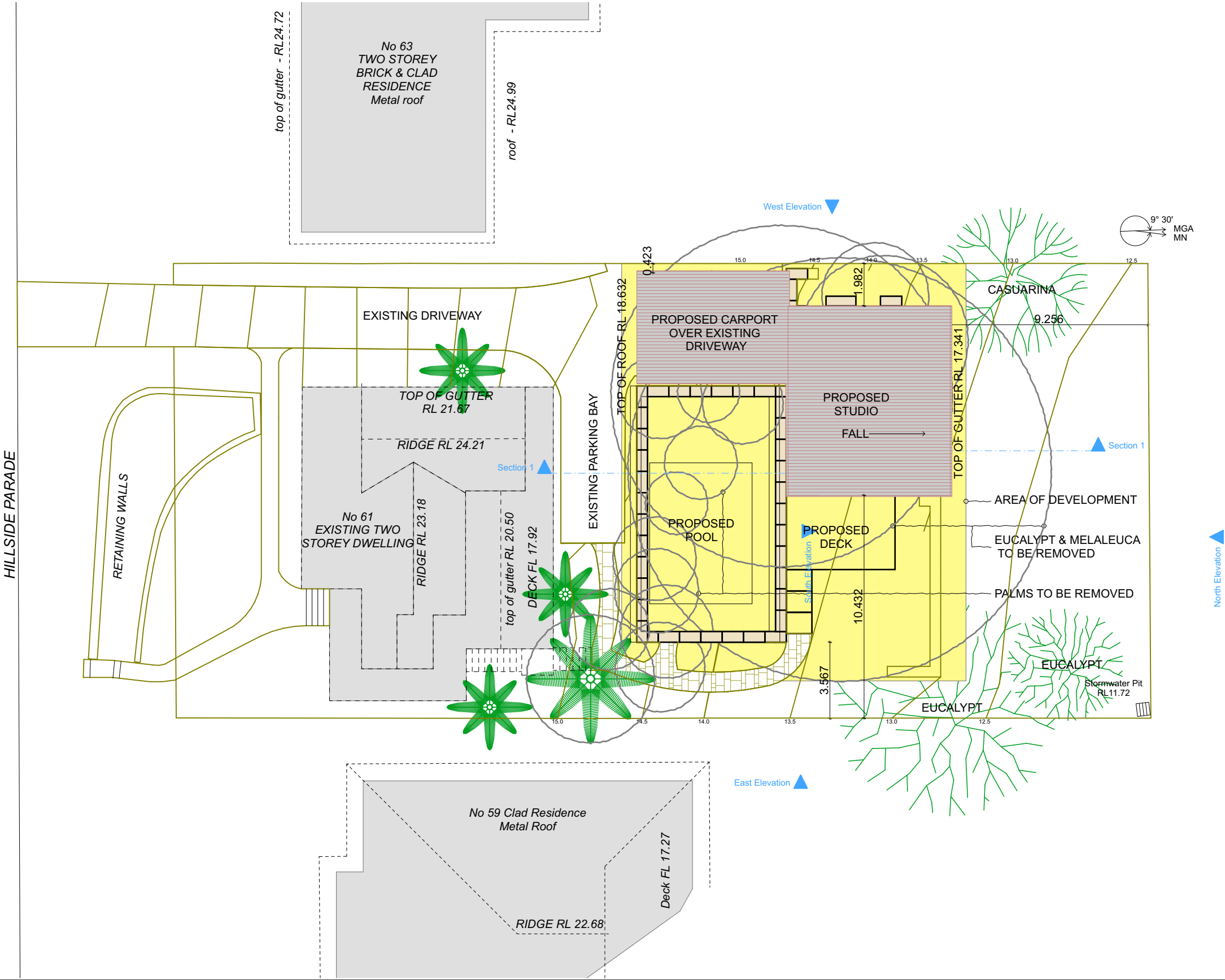
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ID	Drawn	Date	Title
DA	GS	16.11.24	DA Set
DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update

scale: 1:200 @ A3



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Alterations and Additions

Certificate number: A1773748

Project address	
Project name	Luck House
Street address	61 HILLSIDE - ELIZABETH BEACH 2428
Local Government Area	Mid-Coast Council
Plan type and number	Deposited Plan DP22434
Lot number	252

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 872.27 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 231 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 32 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: electric storage plus photovoltaic system.	✓	✓	✓
The applicant must install a photovoltaic system with a capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	N/A	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	W	0.6	6	1.8	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	W	1.26	6	1.8	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	N	3.01	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	N	1.26	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W05	N	1.26	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D01	E	6.3	0	0	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D02	S	5.67	2.7	12.5	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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project:

E&D Luck

61 Hillside Pde Elizabeth Beach NSW 2428

Lot 252 DP 22434

drawing title:

Basix

issue date: 19/12/2024

dwg.no: DA.01.3

project no:

rev.no: **F**

drawn by: GS

revision history

ID	Drawn	Date	Title
DA	GS	16.11.24	DA Set
DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update

scale: 1:1.18 @ A3



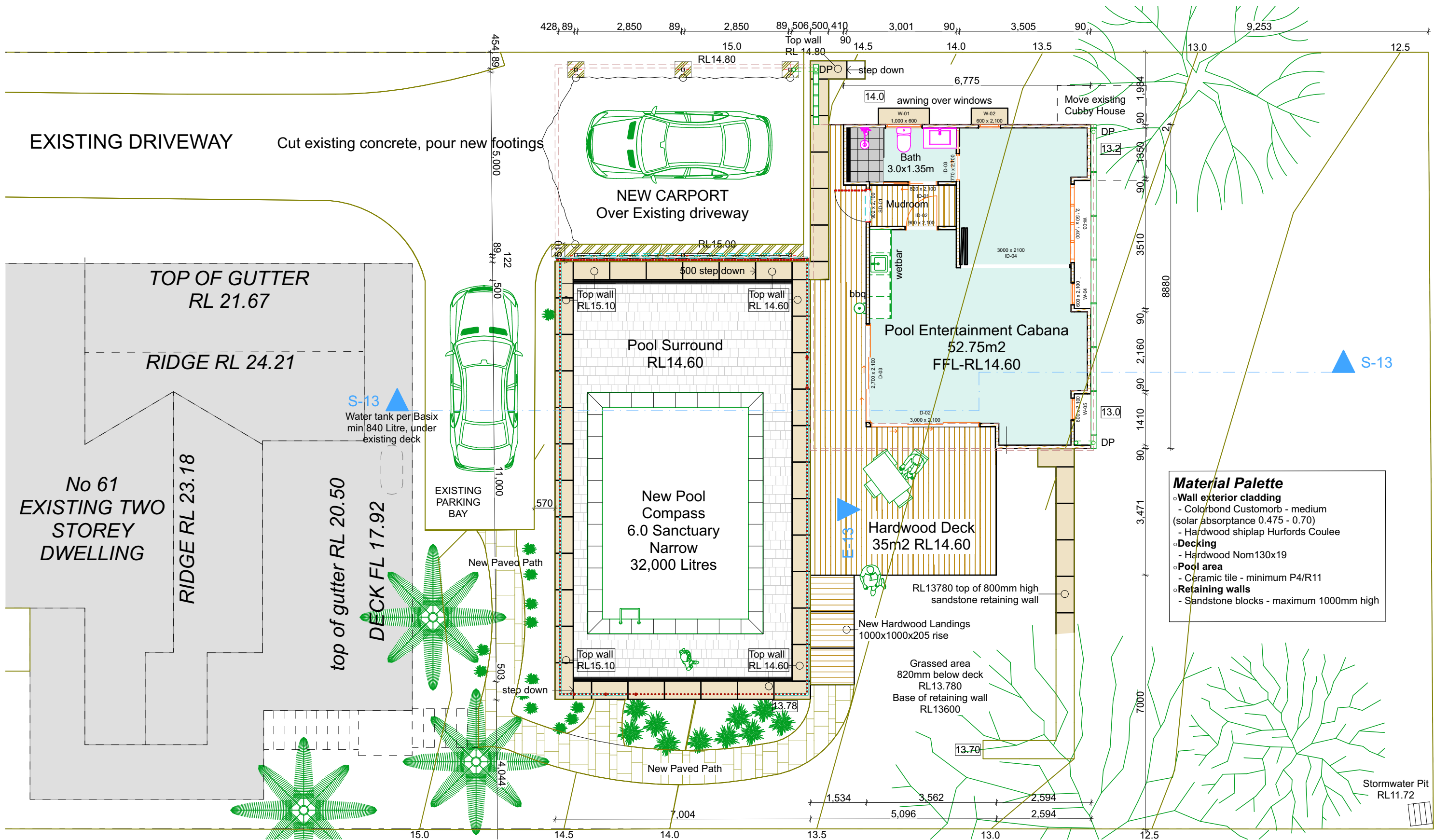
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project:

E&D Luck

61 Hillside Pde Elizabeth Beach NSW 2428

Lot 252 DP 22434

drawing title:

Floor Plan

issue date: 19/12/2024

dwg.no: DA.01.4

project no:

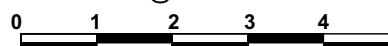
rev.no: **F**

drawn by: GS

revision history

ID	Drawn	Date	Title
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DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update

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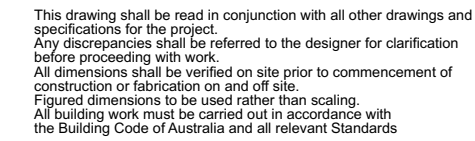
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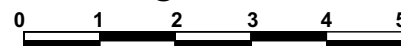
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project:

E&D Luck

61 Hillside Pde Elizabeth Beach NSW 2428

Lot 252 DP 22434

drawing title:

North Elevation

issue date: 19/12/2024

dwg.no: DA.01.6

project no:

rev.no: **F**

drawn by: GS

revision history

ID	Drawn	Date	Title
DA	GS	16.11.24	DA Set
DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update

scale: 1:100 @ A3



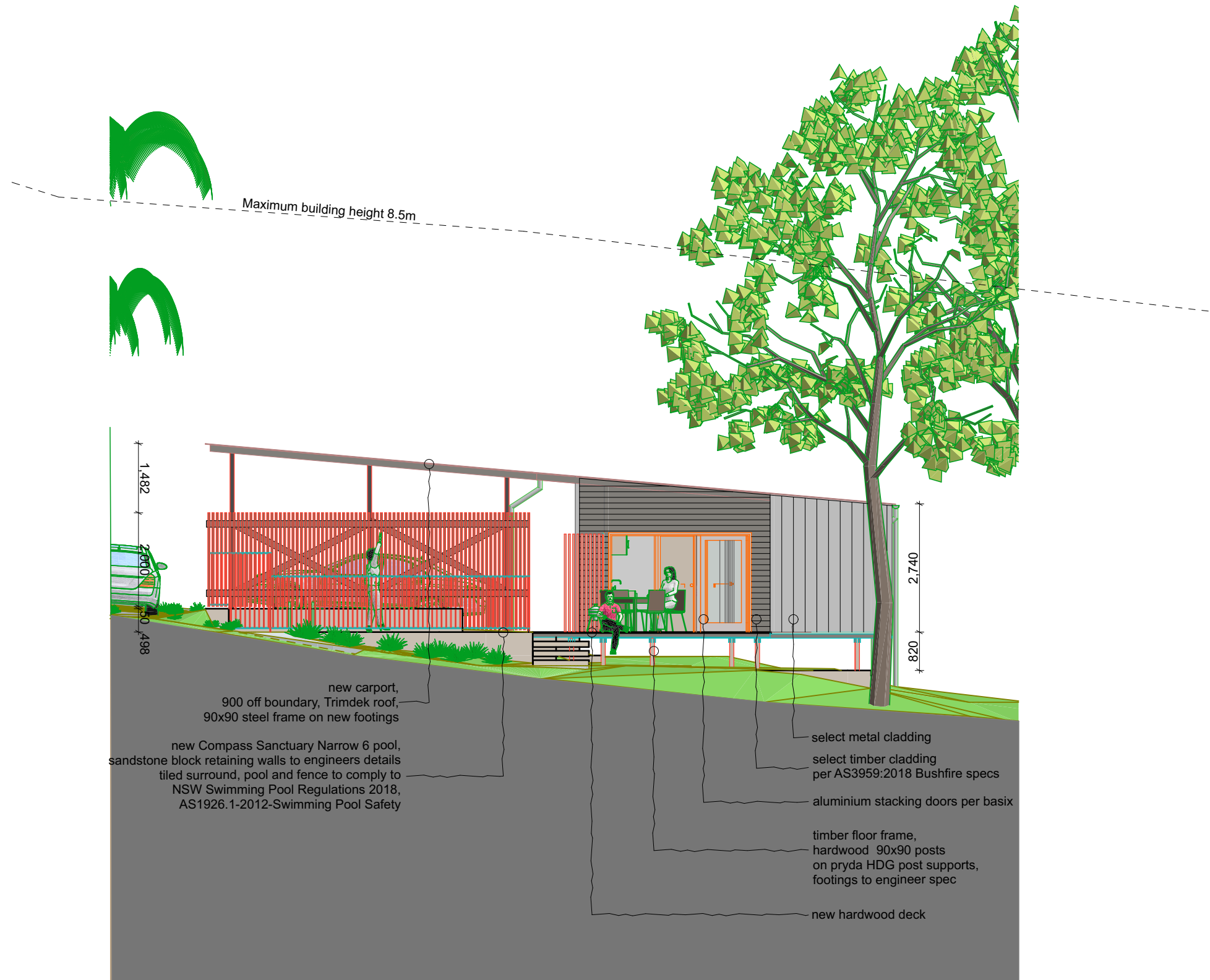
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project:

E&D Luck

61 Hillside Pde Elizabeth Beach NSW 2428

Lot 252 DP 22434

drawing title:

East Elevation

issue date: 19/12/2024

dwg.no: DA.01.7

project no:

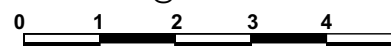
rev.no: **F**

drawn by: GS

revision history

ID	Drawn	Date	Title
DA	GS	16.11.24	DA Set
DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update

scale: 1:100 @ A3



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project:

E&D Luck

61 Hillside Pde Elizabeth Beach NSW 2428

Lot 252 DP 22434

drawing title:

South Elevation

issue date: 19/12/2024

dwg.no: DA.01.8

project no:

rev.no: **F**

drawn by: GS

revision history

ID	Drawn	Date	Title
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DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update

scale: 1:100 @ A3



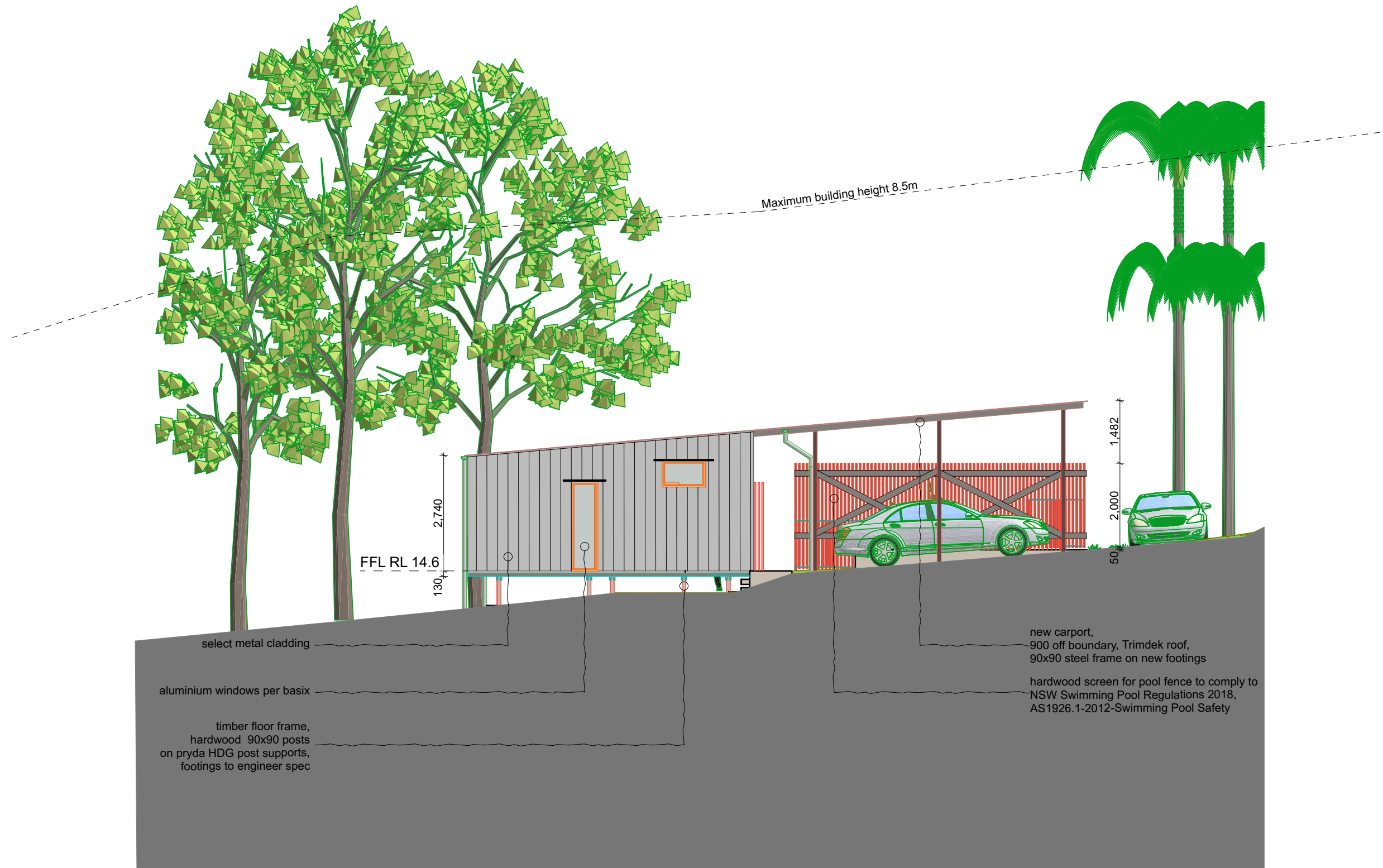
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E&D Luck

61 Hillside Pde Elizabeth Beach NSW 2428

Lot 252 DP 22434

drawing title:

West Elevation

issue date: 19/12/2024

dwg.no: DA.01.9

project no:

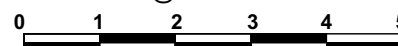
rev.no: **F**

drawn by: GS

revision history

ID	Drawn	Date	Title
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DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update

scale: 1:100 @ A3



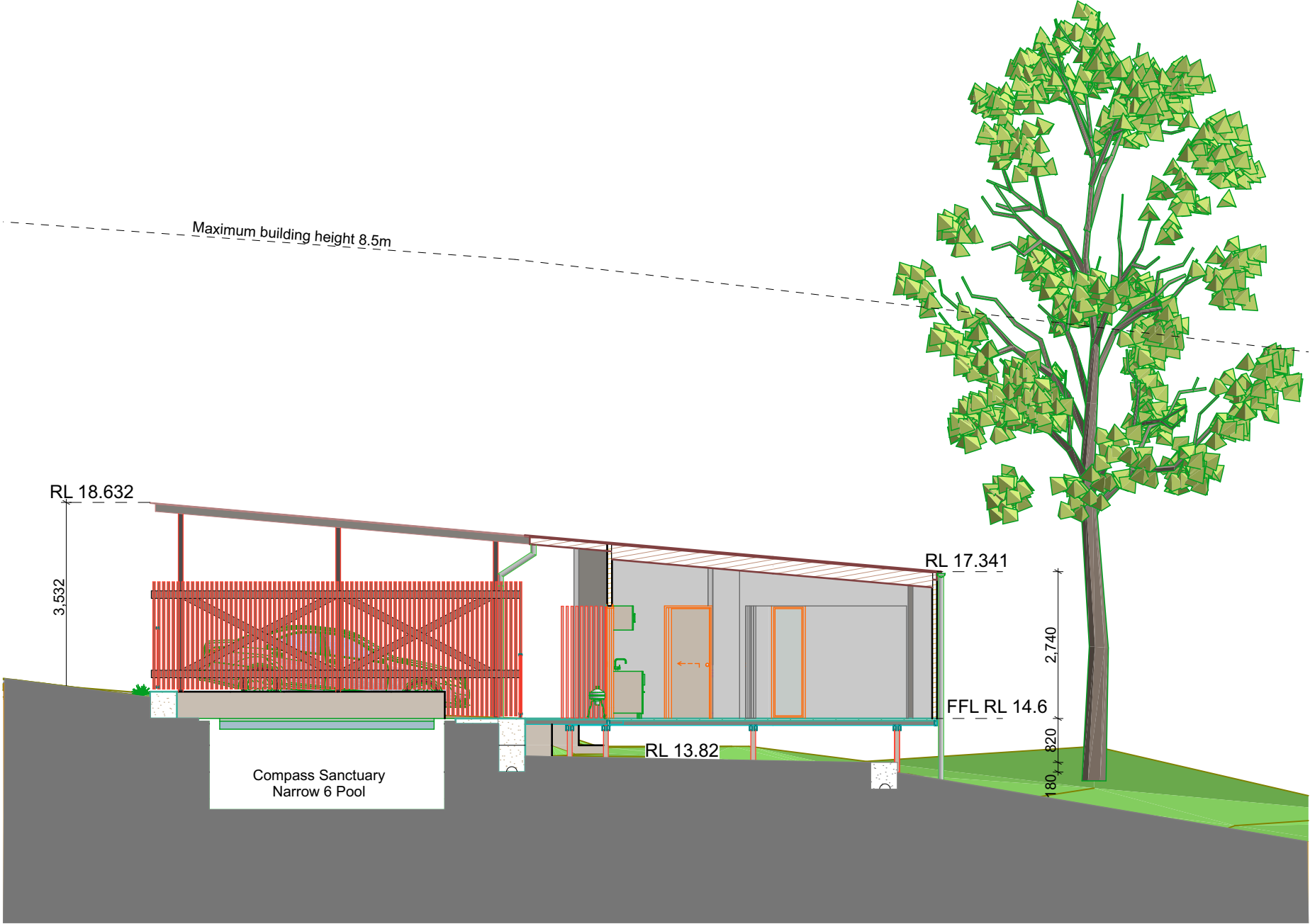
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Lot 252 DP 22434

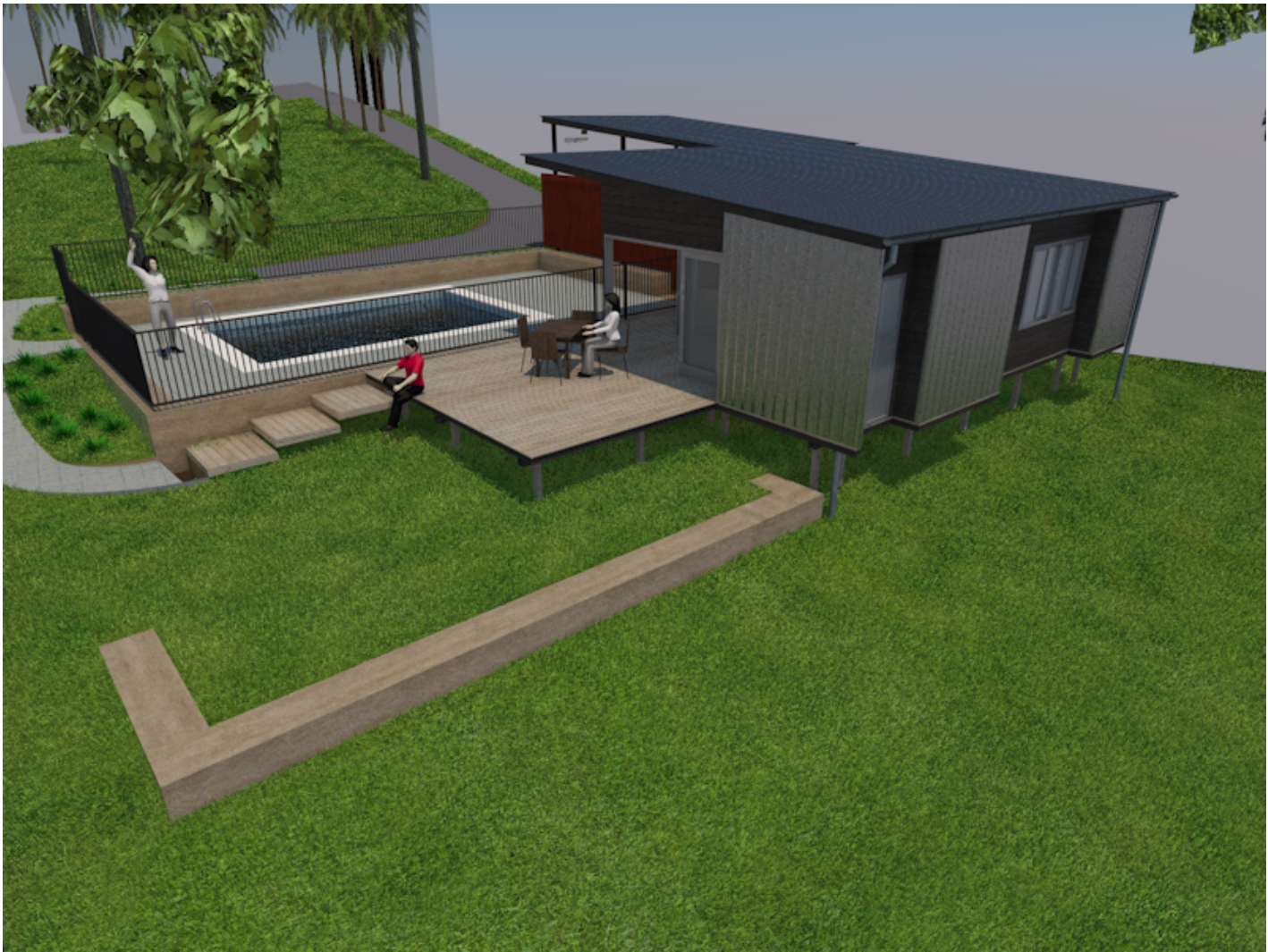
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Section 1
issue date: 19/12/2024
dwg.no: DA.01.10 rev.no: **F**
project no: drawn by: GS

revision history			
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DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update
scale: 1:100 @ A3			
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Southeast View



Northeast View

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project:
E&D Luck
61 Hillside Pde Elizabeth Beach NSW 2428
Lot 252 DP 22434

drawing title:
Perspective views
issue date: 19/12/2024
dwg.no: DA.01.11 rev.no: **F**
project no: drawn by: GS

revision history			
ID	Drawn	Date	Title
DA	GS	16.11.24	DA Set
DA	GS	19.11.24	DA Set rev 1
DA	GS	19.12.24	DA Set rev 2-detail update
scale: 1:1.51 @ A3			
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